

MEATH COUNTY COUNCIL

Planning Department

Buvinda House

Dublin Road

Navan Co Meath

046 - 9097500

Planning & Development Act 2000- 2022

DECLARATION

**To: Ian Douglas & Rachel Holland
Curraghmore Lodge
Summerhill
Co Meath
A83 X590**

PLANNING REFERENCE NUMBER: TA/S52461

APPLICATION RECEIPT DATE: 04/09/2024

FURTHER INFORMATION DATE: 14/10/2024

In pursuance of the powers conferred upon them by the Planning and Development Act 2000-2022, Meath County Council has by order dated 04/11/2024 decided to Declare the proposed development is **EXEMPT**, in accordance with the documents submitted namely: **renovation of existing farmhouse at Arodstown, Summerhill, Co Meath, A83 DC03, is exempted development. This certificate does not include any proposed demolition of any part of the structure or for the construction of any ancillary structures unless otherwise approved by a further grant of permission.**

Date: 04/11/2024

Triona Keating
On Behalf of Meath County Council

NOTE:

1. Any appeal against a Declaration of a Planning Authority under Section 5, sub-section 3(a) of the Planning and Development Act 2000-2022 may be made to An Bord Pleanala by the applicant WITHIN FOUR WEEKS beginning on the date of issue of the Declaration.
2. Appeals should be addressed to An Bord Pleanala, 64 Marlborough Street, Dublin 1. An appeal by the applicant should be accompanied by this form. The fee for an appeal against a Declaration of the Planning Authority is € 220.

For more information on Appeals you can contact An Bord Pleanala at:

Tel: 01 - 8588100 or LoCall: 1890 275 175

Fax: 01 - 8722684

E-mail: bord@pleanala.ie Web: www.pleanala.ie

MEATH COUNTY COUNCIL

CHIEF EXECUTIVE ORDER

Chief Executive Order Number: 1538/24
Reference Number: TA/S52461
Subject: Declaration under Part 1, Section 5, Planning and Development Act 2000-2022
Name of Applicant: **Ian Douglas & Rachel Holland**
Address: **Curraghmore Lodge
Summerhill
Co Meath
A83 X590**
Nature of Application: Renovation of existing farmhouse
Location of Development: Arodstown, Summerhill, Co Meath, A83 DC03
DECLARATION: This development is **EXEMPT** from Planning Permission.

ORDER:

Being satisfied that all requirements relating to the Application have been complied with and to consider the proper Planning and Development of the County Meath Health District, IT IS HEREBY DECIDED, in pursuance of the above Act to declare that this is **EXEMPTED DEVELOPMENT**. **This certificate does not include any proposed demolition of any part of the structure or for the construction of any ancillary structures unless otherwise approved by a further grant of permission.**

SIGNED: _____



On Behalf of Meath County Council

DATE: _____

04/11/2024

Meath County Council



Planning Report

To: Planner	Wendy Bagnall Deirdre Fallon, Senior Executive
From:	Michael McKenna
Report Date:	01/11/2024
File Number:	TA/S52461
Applicant Name(s):	Ian Douglas and Rachel Holland
Development Address:	Curraghmore Lodge Summerhill Meath A83 X590
Inspection Date(s):	N/a
Application Type:	Section 5 Exemption Certificate
Development Description:	"Renovation of existing dwelling house"
Date Decision Due:	03/11/2024

1.0 Site Location and Description



The subject site is located within the townland of Arodstown, off a cul-de-sac which is off the L-62152-0, approximately 5.4km to the southwest of the centre of Summerhill village. The site faces onto rolling farmland on all sides, whilst the topography of the site is flat. The stated area of the site is 0.362hectares with the front site boundary comprising of a timber post fencing. The subject site is in an area of high landscape sensitivity and exceptional landscape character value. The application site is located within the ZAP (Zone of Archaeological Potential) associated with ME043-016: Castle - unclassified: Arodstown. The castle was demolished in 1969. The existing dwelling is not included on the Meath Record of Protected Structures. No protected views listed in the CDP which would be affected by this development.



2.0 Proposed Declaration

The referrer seeks a declaration as to whether, "*Renovation of existing dwelling house*", **is or is not development and is or is not exempted development.**

3.0 Planning History

- 2460073 | The development will consist of the demolition of existing two storey dwelling and to construct a new replacement part two storey, part single storey style dwelling, decommission of existing septic tank, new wastewater disposal system, along with all associated site works | Further Information requested
- DA70327 | Retention for an existing agricultural shed. planning permission is also sought to install a tank and slatted area within existing agricultural shed and all associated site works | Granted
- 91/1117 | House, granny flat and septic tank | Granted

4.0 Legislative Context

Planning and Development Act 2000-2022:

In this Act, except where the context otherwise requires –

Section 2(1)

"Works" includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal...

Section 3(1)

"Development" in this Act means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.

Section 4(1)

The following shall be exempted developments for the purposes of this Act (4)(1)(a)-(l).

Sub-section 4(1)(h) states that – "development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;

Section 4(2)(a)

"The Minister may by regulations provide for any class of development to be exempted development for the purposes of this Act where he or she is of the opinion that –

- (i) by reason of the size, nature or limited effect on its surroundings, of development belonging to that class, the carrying out of such development would not offend against principles of proper planning and sustainable development, or
- (i) "the development is authorised, or is required to be authorised, by or under any enactment..."

Section 4(2)(b)

"Regulations under paragraph (a) may be subject to conditions and be of general application or apply to such area or place as may be specified in the regulations."

Section 4(2)(c)

"Regulations under this subsection may, in particular and without prejudice to the generality of paragraph (a) provide, in the case of structures or other land used for a purpose of any specified class, for the use thereof for any other purposes being exempted development for the purposes of this Act".

Section 177U(9)

"In deciding upon a declaration for the purposes of Section 5 of this Act a planning authority or the Board, as the case maybe, shall where appropriate, conduct a screening for appropriate assessment in accordance with the provisions of this Section."

5.0 Assessment

(i) Does the proposal constitute development:

Having regard to the definition of 'development' within the Planning and Development Act 2000 (as amended) it is considered the works detailed would constitute development i.e. "the carrying out of works on, in, over or under lands or the making of any material change in the use of any structures or other land".

(ii) Does the proposal constitute exempt development:

As per the previous application further information was requested. The further information points shall be assessed below:

1. The applicant shall submit documentation which clearly detail the existing floor plans of the dwelling and the proposed floor plans to enable the Planning Authority to make an informed assessment of the proposal.

Planner Response

- The applicant has submitted floor plans for the proposed development however none have been submitted for existing elevations. It is considered that elements of the proposed works may not be exempt so a split decision shall be issued.
2. The applicant shall submit a photo survey of the structure covering each elevation.

Planner Response

- The applicant has submitted a photo survey and method statement as per request. This element has been adequately addressed.
3. The applicant shall clarify what changes are proposed to the existing structure including proposed finishes.

Planner Response

- The applicant has submitted a report which outlines the proposed internal and external works. Works include the refurbishment of the structure which is disrepair and some works to modernise the structure. I am satisfied that works shall not alter the character of the structure. I am satisfied that the works broadly fall within the scope of Sub-section 4(1)(h) of the Planning and Development Act 2000-2023, however, as stated above a split decision shall be issued.

(iv) *Appropriate assessment:*

Article 9(1)(a)(viiB) sets out that where a planning authority, as the competent authority in relation to appropriate assessment, considers that a development would be likely to have significant effect on the integrity of a European site then there is a restriction on exemption.

The site is not within or directly adjoining any Natura 2000 site. A number of sites are within a 15-kilometre (approximate) distance of the site:

- River Boyne and River Blackwater SAC (Site Code: IE0002299)
- River Boyne and River Blackwater SPA (Site Code: IE0004232)
- Rye Water Valley/Carton SAC (Site Code IE0001398)

The site is not located within a Natura 2000 site. I am not aware of any source/pathway/receptor routes between the site and these sites and so I consider that the current proposal would not have a significant effect upon any Natura sites.

Therefore, it is concluded that having regard to the nature and scale of the proposed development and the nature of the receiving environment no appropriate assessment issues arise and it is not considered that the proposed development would be likely to have a significant effect individually or in combination with other plans or projects on a European site.

(v) Environmental Impact Assessment:

The works are not a development type listed under Part 1 or 2 of Schedule 5 of the Planning & Development Regulations (PDR) 2001-2023 nor is it considered a sub-threshold development for the purposes of Schedule 7 PDR and would not on its own or cumulatively with other projects result in significant effects on the environment. As such there is no real likelihood of significant effects on the environment arising from the relevant development and therefore an EIAR (Environmental Impact Assessment Report) is not required.

(vi) Conclusion:

In conclusion, based on the information provided, "*Renovation of existing dwelling house*" is development and is exempted development as stated under Schedule 2, Part 1, Class 14 (f) Exempted Development of the Planning and Development Regulations 2001-2022.

6.0 RECOMMENDATION

It is therefore recommended that a declaration of Exemption be **GRANTED** for the development set out hereunder. In the interest of clarity, the works which shall be included in the scope of this exemption shall include the renovation of the existing structure and shall not include any demolition of any part of the structure or for the construction of any ancillary structures unless otherwise approved by a further grant of permission.

WHEREAS the question has arisen as to whether the alterations is or is not exempt development.

AND WHEREAS Meath County Council in consideration of this question has had regard

particularly to:

- (a) Sections 2(1), 3(1), 4(1)(h) & 177U of the Planning and Development Act 2000-2022,
- (b) Article 6 & 9 of the Planning and Development Regulations, 2001-2023
- (c) Schedule 2, Part 1, Class 14 (f) (Exempted Development – General) of the Planning and Development Regulations, 2001-2023.
- (d) Plans and particulars of the Section 5 application submitted.

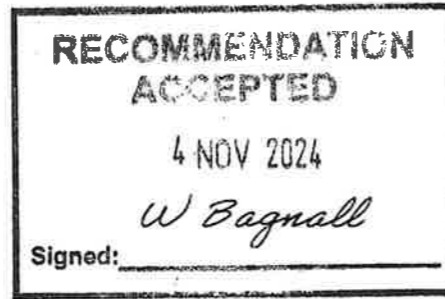
AND WHEREAS Meath County Council has concluded: -

- (a) The, "*Renovation of existing dwelling house*", Curraghmore Lodge Summerhill Meath A83 X590 is exempted from the requirement to obtain planning permission under the Planning and Development Act 2000-2022 and the Planning and Development Regulations 2001-2022-2023 as it comes within the scope of the conditions & limitations of Schedule 2, Part 1, Class 14 (f) (Exempted Development – General) of the Planning and Development Regulations, 2001-2023.

NOW THEREFORE Meath County Council, in exercise of the powers conferred on it by Section 5(2)(a) of the Planning and Development Act 2000-2022, hereby decides that the said development as detailed on plans and particulars submitted on 18th October 2024 is development and is exempted development. This certificate does not include any proposed demolition of any part of the structure or for the construction of any ancillary structures unless otherwise approved by a further grant of permission.

Michael McKenna

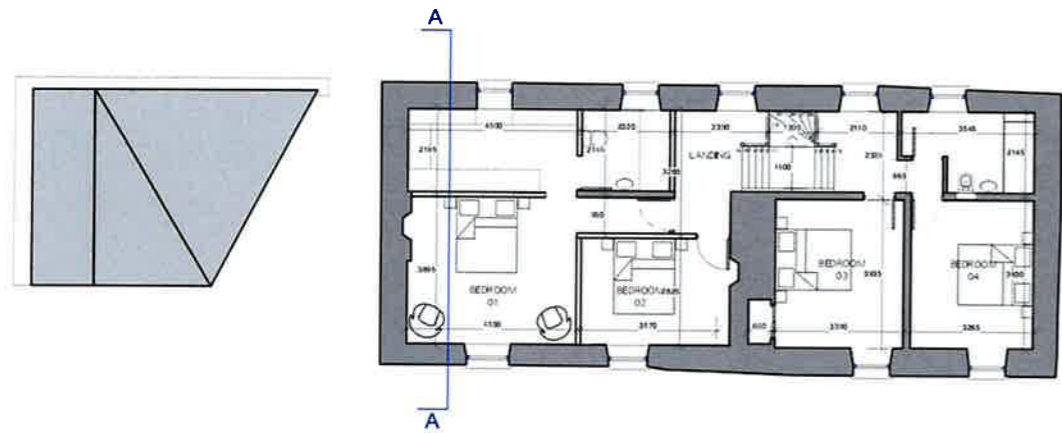
Michael McKenna
Assistant Planner



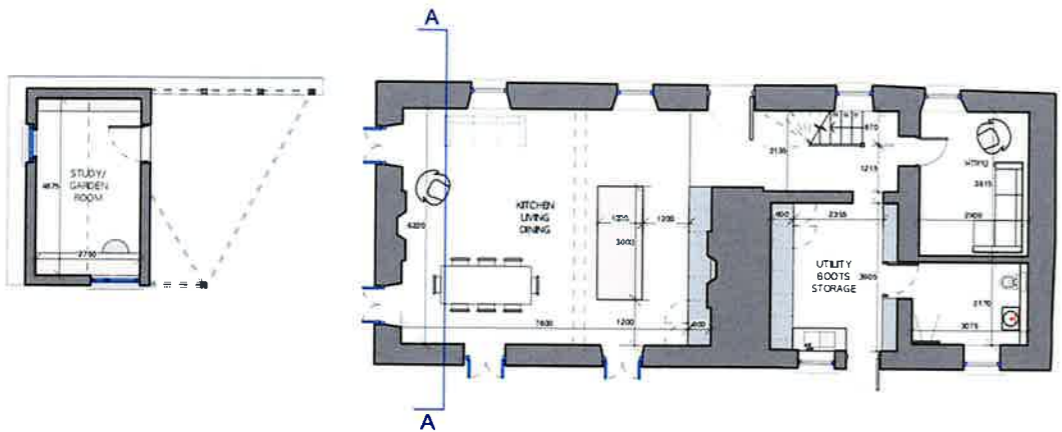
Wendy Bagnall
Senior Executive Planner



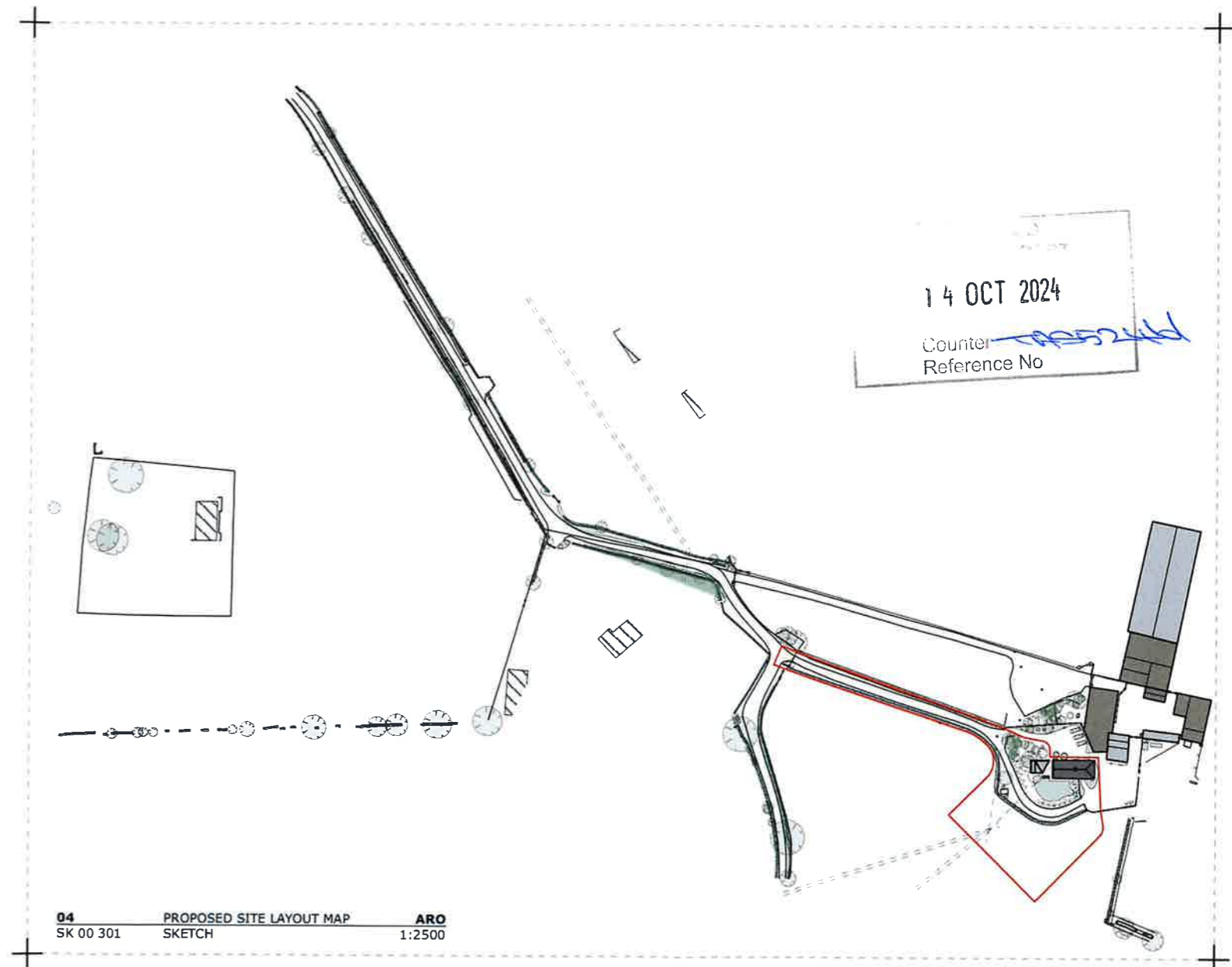
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SK 00 301



02 PROPOSED FIRST FLOOR PLAN SKETCH ARO 1:200
SK 00 301

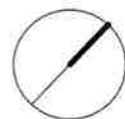


03 PROPOSED GROUND FLOOR PLAN SKETCH ARO 1:200
SK 00 301



04 PROPOSED SITE LAYOUT MAP SKETCH ARO 1:2500
SK 00 301

SKETCH



— SUBJECT SITE OUTLINE

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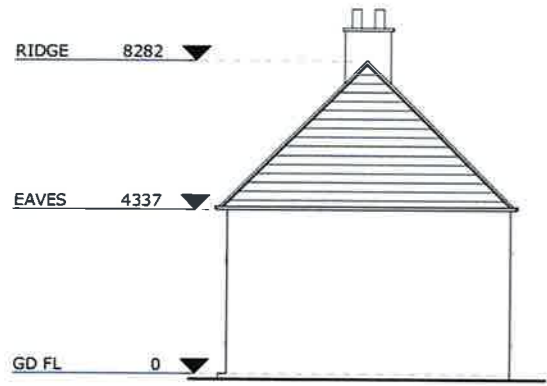
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REV	DATE	DESCRIPTION	DRAWING NO:	2412 ARO SK 00 301	REV:	SCALE:	AS NOTED
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			DRAWING:	PROPOSED PLANS/ELEVATIONS		SERIES:	SKETCH
						DATE:	12/07/2024
						DRAWN BY:	CC
						CHECKED BY:	GD

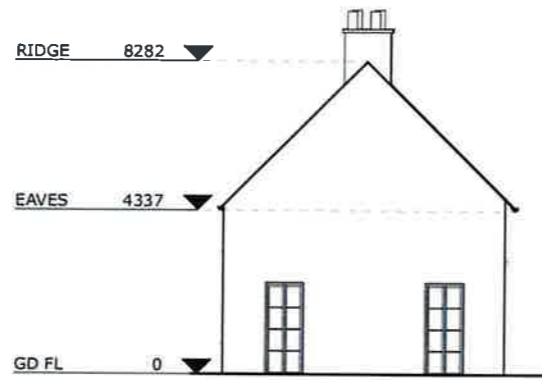
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01 FRONT ELEVATION ARO
SK 00 302 SKETCH 1:200



02 GABLE ELEVATION ARO
SK 00 302 SKETCH 1:200



03 GABLE ELEVATION ARO
SK 00 302 SKETCH 1:200



04 SECTION A-A ARO
SK 00 302 SKETCH 1:200

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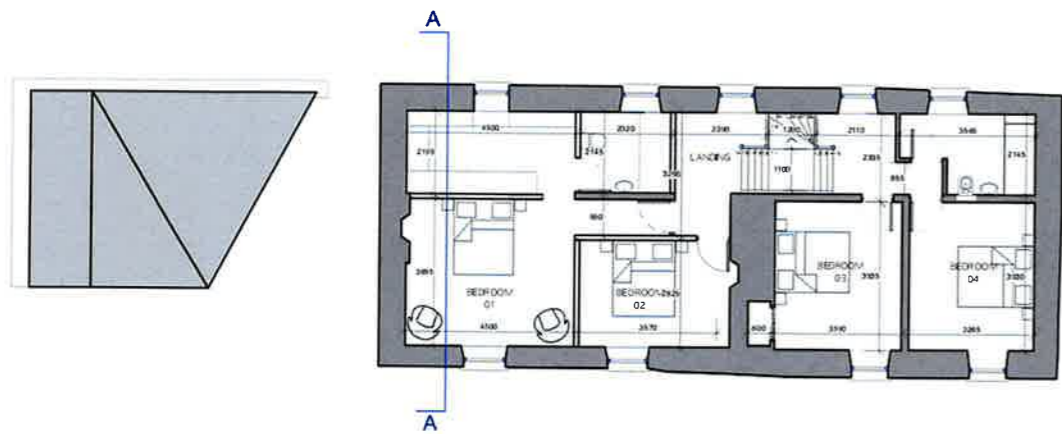
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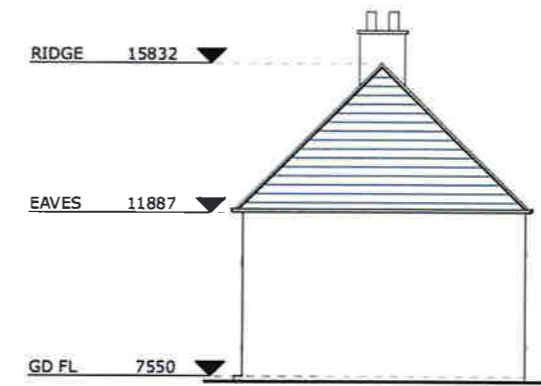
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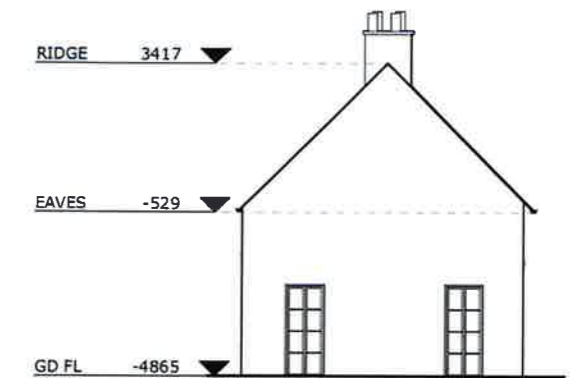
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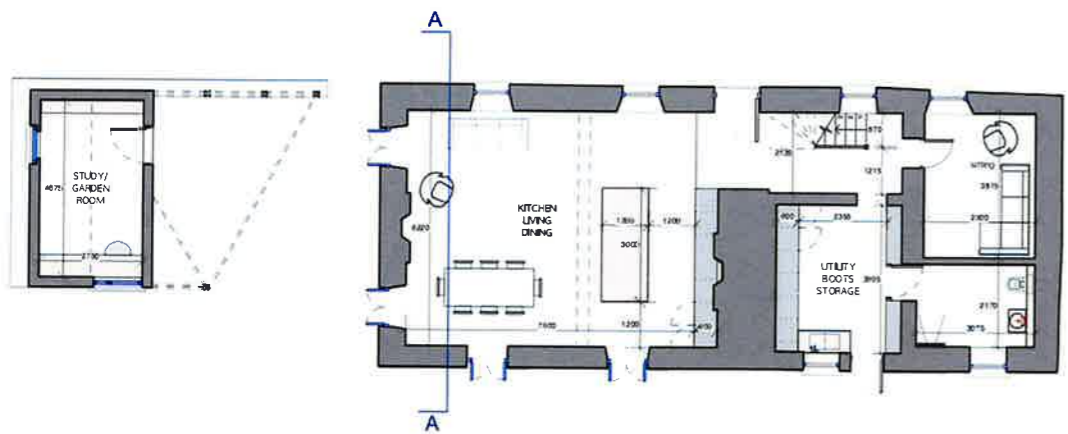
02 PROPOSED FIRST FLOOR PLAN SKETCH ARO 1:200
SK 00 301



05 GABLE ELEVATION SKETCH ARO 1:200
SK 00 301



06 GABLE ELEVATION SKETCH ARO 1:200
SK 00 301



03 PROPOSED GROUND FLOOR PLAN SKETCH ARO 1:200
SK 00 301



07 SECTION A-A SKETCH ARO 1:200
SK 00 301



SKETCH



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REV	DATE	DESCRIPTION	DRAWING NO:	2412 ARO SK 00 301	REV:	SCALE:	AS NOTED
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			DRAWING:	PROPOSED PLANS/SECTIONS/ELEVATIONS		DATE:	12/07/2024
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O'Hagan Heritage

Historical Building Restoration



This method statement outlines the conservation procedures for Arodstown House, carried out by O'Hagan Heritage, a specialist conservation contractor with over 18 years of experience. O'Hagan Heritage is responsible for key elements of the project, as supported by the structural report provided by Vincent Brady, BSc NCEA Cert Eng PGrad Dip MIEI, which details the necessary structural and non-structural restoration work. This can be seen in Appendix 1. The following outlines the method statements for critical tasks, including ring beam installation, works to the walls, chimney restoration, steel beam installation and roof replacement. Non structural tasks involve restoring wooden shutters, the staircase, oak beams, floor boards, lime plastering and repairing/replacing the front door and windows, as well as addressing issues related to dampness, ventilation and timber defects. Additional works include installing a french drain around the building and re-pointing exposed stone walls. The goal of the project is to preserve the historic integrity of the building while modernising it to meet current safety standards and ensure long-term stability.

Produced by Dean O'Hagan within methodologies also provided by Tom Dooley of Ovolo Sash, who are responsible for the restoration of the Sash Windows.

Date: 17-09-2024

Method Statement for Ring Beam and Wall Consolidation



Photo - 7



Photo - 8



Photo - 9



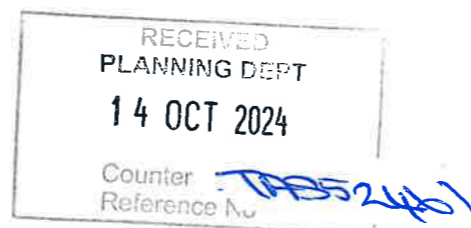
Photo - 10



Photo - 11 Note: Structural bulge to front wall due to



Photo - 12



Introduction

This method statement describes the process for installing a new perimeter ring beam to consolidate the house structure and includes the consolidation of the walls. The scope includes forming and pouring the ring beam, rebuilding the gable ends with thermal blocks, and ensuring the long-term stability of the structure while preserving its historical value.

Scope of Works

- Form and pour a new perimeter ring beam with a square string course detail.
 - Provide and install all shuttering, steel reinforcement, concrete, and materials.
 - Blockwork to top out the ring beam.
 - Strip down and rebuild the gable ends using thermal blocks.
 - Provide teleporter services for material handling.
-

Materials

- **Concrete:** Traditional mix, incorporating lime-based concrete where necessary.
 - **Shuttering:** Timber formwork.
 - **Steel Reinforcement:** Rebar per structural specifications.
 - **Thermal Blocks:** For gable rebuilds.
 - **Lime Mortar:** To match the original building's mortar.
 - **Scaffolding:** Supplied and inspected by the client.
-

Plant and Equipment

- Teleporter for material handling.
 - Concrete mixer (lime-based if needed).
 - Shuttering tools (hammers, levels).
 - Hand tools (trowels, shovels).
-

Procedure

1. **Site Preparation:** Ensure scaffolding is stable and storage areas are designated for materials.
2. **Undertake Consolidation:** The area of stonework around the top of the exposed wall is to be consolidated.

3. **Gable Strip Down:** Mark the gable areas for removal and carefully strip masonry to accommodate the ring beam.
4. **Shuttering Installation:** Set up timber shuttering for the ring beam, ensuring proper alignment and bracing.
5. **Steel Reinforcement:** Lay rebar inside the formwork and secure it with wire ties.
6. **Concrete Pouring:** Pour and consolidate concrete using hand tools or vibrators.
7. **Blockwork and Gable Rebuild:** Once the ring beam cures, rebuild the gables using thermal blocks.
8. **Final Inspection:** Check structural and conservation compliance and carefully remove the shuttering.

Method Statement for Roof Replacement



Photo - 44 Note - rotten roof timbers and window heads throughout.



Photo - 45



Photo - 46



Photo - 47

Introduction

This section covers the replacement of the roof structure, including new timber framing, roofing membrane, slates, and ridge tiles. The goal is to install a weatherproof, durable roof while maintaining the building's historic character.

Scope of Works

- Removal of the existing roof covering.
 - Replacement of all structural timber with C24 grade rafters and ties.
 - Installation of a 160gsm roofing membrane.
 - Application of treated laths and new natural slates.
 - Installation of angle clay ridge tiles and slate trim.
-

Materials

- C24 grade timber for rafters and wall plates.
 - 160gsm Corotop roofing membrane.
 - 600x300 Santos Graphite or Spanish Manor Slate.
 - Galvanized wall plate straps and treated laths.
 - Ridge tiles, clout nails, and point hooks.
-

Plant and Equipment

- Teleporter for lifting materials.
 - Circular saw, nail gun, hand tools.
 - Safety gear (hard hats, harnesses).
-

Procedure

1. **Site Preparation:** Secure access to the roof and clear obstructions.
 2. **Remove Existing Roof:** Safely strip slates, tiles, and underlayment.
 3. **Structural Timber Installation:** Replace rafters and wall plates with C24 timber.
 4. **Install Roofing Membrane:** Lay the membrane and secure it with fasteners.
 5. **Install Laths:** Fix treated laths over the membrane.
 6. **Slate Laying:** Secure slates with point hooks and clout nails.
 7. **Ridge Tile Installation:** Lay angle clay ridge tiles along the roof ridge.
 8. **Final Inspection:** Check for any defects and ensure proper water tightness.
-

Method Statement for Chimney Restoration



Photo - 1

Introduction

This method statement covers the restoration of the rooftop chimneys, including the consolidation of the central chimney and the complete rebuild of the gable chimney, with new concrete caps and flue pots.

Scope of Works

- Consolidation of the central chimney.
- Rebuild of the gable chimney.
- Installation of new concrete caps and flue pots.

Materials

- Concrete for chimney tops.
- Red Brick or stone to match the original chimney.
- New flue pots.
- Timber and plywood for shuttering.

Plant and Equipment

- Concrete mixer.

- Hand tools (chisels, trowels).
 - Lifting equipment for materials.
-

Procedure

1. **Site Setup:** Erect scaffolding and ensure safe access to the chimney.
 2. **Central Chimney Consolidation:** Repair damaged bricks and joints, then pour a new concrete cap.
 3. **Gable Chimney Rebuild:** Dismantle and rebuild the gable chimney using matching materials.
 4. **Install Flue Pots:** Set flue pots into place and seal with mortar.
 5. **Final Inspection:** Ensure chimney integrity and weatherproofing.
-

Installation of Steel Beams at Arodstown House

This section outlines the procedures for the installation of new steel to support the new first floor. The steel beams will be fitted into newly formed pocket padstones on the interior of external walls to support new flooring joists. The work aims to ensure structural integrity while accommodating modern upgrades to the building.

Scope of Works

- **Supply and installation** of 203x203x60 UC steel beams.
 - **Formation and pouring** of pocket padstones into existing external walls.
 - **Consolidation of walls** after beam installation.
 - **Coordination** with other contractors for flooring joist installation.
-

Materials

- **Steel Beams:** 203x203x60 UC beams.
 - **Padstones:** Concrete or stone padstones suitable for supporting steel beams.
 - **Mortar:** Lime-based or cement-based mortar for wall consolidation.
 - **Fasteners and Ancillary Materials:** Bolts, brackets, or other necessary fittings.
-

Plant and Equipment

- **Teleporter or Hoist:** For lifting and positioning steel beams.

- **Concrete Mixer:** For preparing concrete padstones.
 - **Hand Tools:** Trowels, chisels, hammers, etc., for masonry work and beam fitting.
 - **Power Tools:** Angle grinders, drills for steelwork and wall preparation.
 - **Safety Equipment:** Hard hats, gloves, safety glasses, and harnesses.
-

Procedure

Step 1: Preparation and Site Setup

- **Access:** Set up scaffolding or other safe access methods as required.
- **Site Clearance:** Clear the area where beams will be installed, ensuring easy access for materials and equipment.
- **Inspection:** Conduct a final inspection of the wall to determine the appropriate locations for pocket padstones.

Step 2: Formation of Pocket Padstones

- **Mark and Cut Openings:** Mark and carefully cut pockets into the external walls where the steel beams will be seated. Ensure the openings are sized correctly to accommodate the padstones and beams.
- **Pour Padstones:** Pour concrete into the prepared pockets to form padstones. Ensure they are level and allow sufficient time for the concrete to cure.

Step 3: Delivery and Positioning of Steel Beams

- **Beam Delivery:** Ensure beams are delivered to the site and inspected for any defects before installation.
- **Lifting into Place:** Use a teleporter or hoist to carefully lift the beams into position over the newly formed padstones. Ensure the beams are placed accurately and securely into the pockets.

Step 4: Securing and Aligning Steel Beams

- **Alignment:** Adjust the beam to ensure it is level and aligned according to structural drawings.
- **Securing:** Use appropriate fasteners (bolts, brackets) to secure the beams in place.

Step 5: Wall Consolidation

- **Repointing and Filling:** After the steel beams are securely in place, consolidate the surrounding walls by repointing and filling any gaps around the beams using lime-based or cement mortar.
- **Final Curing:** Allow sufficient curing time for the mortar before subjecting the beams to load.

Step 6: Inspection and Final Adjustments

- **Structural Inspection:** Conduct a thorough inspection to ensure that the beams are properly installed and aligned.
- **Coordination with the Flooring Team:** Communicate with the flooring contractors to ensure that the beams are ready for the installation of the new flooring joists.

Lime Plastering



Introduction

This method statement outlines lime plastering using natural hydraulic lime (NHL). Lime plaster is a traditional building material used for its breathability, flexibility, and compatibility with historic or conservation projects. Natural hydraulic lime is an eco-friendly material that allows moisture to escape from the substrate, preventing trapped moisture and dampness. This method is suitable for both internal and external walls, especially in heritage and restoration projects.

Materials

Natural Hydraulic Lime (NHL 2, NHL 3.5, or NHL 5 depending on the application)

- Clean, well-graded sharp sand (lime plaster mix ratio depends on use, typically 1:2.5 or 1:3 NHL to sand by volume)
- Water (clean and potable)
- Fibre additives (optional for reinforcement, such as animal hair for traditional work or synthetic fibres)

- Plasticiser (optional for workability)
 - Hessian or plastic sheeting (for curing)
-

Plant and Equipment

- Mixing board or mechanical mixer
 - Trowels (hawk, plastering trowel)
 - Floats (wooden or plastic float)
 - Plastering rule
 - Brushes
 - Buckets and measuring containers
 - Scaffolding or access equipment
 - Water spray
-

Procedure

1. Preparation of the Substrate

- **Ensure the surface is clean and stable:** Remove any loose, friable, or non-breathable materials such as cement or gypsum plaster from the substrate. Any residual debris, dust, or organic material (moss, algae) should also be removed using appropriate methods like brushing or low-pressure water washing.
- **Dampening the surface:** To prevent rapid drying of the lime plaster, thoroughly dampen the substrate with clean water, but ensure there is no standing water. The surface should be saturated but not dripping wet. Porous substrates (e.g., old brickwork) may need to be done multiple times before plaster application.
- **Apply a bonding coat (if necessary):** If the substrate is highly smooth or non-porous, a bonding coat or "key" layer may be applied, using a sand-lime slurry or applying a rough-scratched first layer of lime plaster to create a mechanical bond.

5. Mixing Lime Plaster

- **Proportions:** Measure the lime and sand in the appropriate ratio, typically 1 part NHL to 2.5–3 parts clean sharp sand by volume. For fibrous reinforcement, add synthetic fibres in the mixer.
- **Mixing process:** On a mixing board or mechanical mixer, thoroughly mix the dry materials (lime and sand) before slowly adding water. Mix until a consistent, workable paste is achieved. The plaster should be slightly stiff but still workable and creamy. Let the mixture sit for a short while to ensure full hydration of the lime.

6. Application of Lime Plaster

- **First Coat (Scratch Coat):**

- Apply the first coat of plaster (typically around 10 mm thick) using a hawk and trowel. Press the plaster firmly into the substrate to ensure good adhesion.
- Use a plasterer's comb or a scratcher to create horizontal or diagonal lines in the plaster while it is still fresh. These lines provide a mechanical key for the next coat.
- Allow this coat to set slowly, keeping it moist by misting with water if necessary, especially in warm or windy conditions. Protect the surface from rapid drying using damp hessian or plastic sheeting.
- **Second Coat (Float Coat):**
 - After the first coat has set but is still "green" (firm but damp to the touch), apply the second coat of plaster (again, around 10 mm thick). This coat can be a finer mix if desired, with more sieved sand to achieve a smoother finish.
 - Smooth the plaster using a wooden float. Slightly dampen the surface to reduce drag and ensure an even, smooth coat.
 - Allow the second coat to dry slowly as with the first coat, misting with water and protecting it from rapid drying.
- **Final Coat (Finish Coat):**
 - After the second coat has set but is still damp, apply the finish coat, typically 3-5 mm thick. This coat can be lime putty or a very fine NHL mix with fine sand for a smoother finish.
 - Apply the coat evenly with a trowel and finish using a sponge or fine float to achieve the desired texture.
 - As with previous coats, allow it to set slowly, maintaining appropriate moisture by misting with water and covering with damp hessian or plastic.

7. Completion

- Ensure the surface is finished as per specifications, whether left smooth or textured.
- The lime plaster should be allowed to cure and dry fully before any decorative finishes such as limewash are applied

Additional Structural and Conservation Works

Original staircase

- The restoration of the original staircase.

Oak Beams

- Careful takedown and cleaning of the original beams
- Reinstallation of original beams



Main Walls

- Re-point areas where the stone will be left exposed.

Windows and front door.

- Replace single-glazed windows with double-glazed systems, ensuring compliance with fire safety standards and providing the required insulation values for the windows
- Replacement of original front door and repair and replacement of sash stutters.

Floors

- Replace the ground floor concrete slab.
- Restoration of original timber floors, addressing structural rot and damage.



Dampness and Timber Defects

- Address damp issues by installing proper waterproofing and ventilation systems.
- Repair or replace damaged timber structures, ensuring treatment for infestations.

Drainage

- Installation of a French drain around the house to preserve the structural integrity of the building.

Conclusion

This method statement ensures the conservation of Arodstown House while addressing structural integrity, historic preservation, and compliance with modern safety standards.

BUILDING SURVEY REPORT



PROPERTY ADDRESS:
ARODSTOWN HOUSE
ARODSTOWN
SUMMERHILL
CO. MEATH
A83 DC03



CLIENTS NAME:
Ian Douglas

DATE OF SURVEY VISIT:
14th June 2024

PREPARED BY:
Surveyor Vincent Brady
Company Barrach Consulting Engineers

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Introduction

In accordance with instructions received from Ian Douglas, Vincent Brady BSc NCEA Cert Eng PGrad Dip MIEI has carried out a visual inspection of the subject property known as ARODSTOWN HOUSE ARODSTOWN, SUMMERHILL, CO. MEATH, A83 DC03.

This Building Survey report has been produced following the inspection. If you decide not to act on the advice in this report, you do this at your own risk.

The report aims to help you:

- Make a reasoned and informed decision on whether to go ahead with buying the property
- Take account of any significant repairs or replacements the property needs; and
- Consider what further advice you should take before committing to purchase the property

Any extra services that the Surveyor provides that are not covered by the terms and conditions of this report must be covered by a separate contract.

It is to be stressed that it is not the intention of this report to enumerate each and every item of defect evident but rather to identify those defects and matters of significance that the Surveyor advises should be considered prior to the purchase of the property and may materially affect value.

If greater assurance is required on these matters, it will be necessary to carry out exposure works. Unless these are carried out prior to exchange of contracts, there is a risk that additional defects and consequent repair costs will be discovered at a later stage.

Please note that this Building Survey report is for the benefit of Ian Douglas and their legal advisor and should not be reproduced in whole or part without the permission of the author/s. It shall not be relied upon by any third party without written consent of Banrach Consulting Engineers and any third party relying upon any part of this report does so entirely at their own risk.

Scope of Instruction

The Surveyor carries out a visual inspection only.

The Surveyor inspects the inside and outside of the main building and all permanent outbuildings, but they do not force or open up the fabric of the building. No account can be taken for work/issues that have been covered up.

The Surveyor undertakes a visual inspection of the accessible services and comments on any obvious defects, but he/she is not a qualified electrician, gas engineer, plumber or drainage contractor and are therefore not qualified to test or comment in detail upon the services within the building.

The Surveyor inspects roofs, chimneys and other surfaces on the outside of the building from ground level.

The Surveyor inspects the roof structure from the attic roof hatch or inside the roof space if there is access (although no insulation material, stored goods or other contents are lifted or moved). The Surveyor examines floor surfaces and under-floor spaces so far as there is safe access to these (although no furniture, floor coverings or other contents are lifted or moved). The Surveyor does not remove the contents of cupboards. The Surveyor is not able to assess the condition of the inside of any chimney, boiler or other flues. Also, the Surveyor does not remove secured panels or undo electrical fittings.

The Surveyor notes in their report if they are not able to check any parts of the property that the inspection would normally cover. If the Surveyor is concerned about these parts, the report will tell you about any further investigations that are needed.

The Surveyor does not report on the cost of any work to put right defects or make recommendations on how these repairs should be carried out. Some maintenance and repairs suggested may be expensive.

! Please read the 'Description of the Building Survey Report Service' (at the back of this report) for details of what is, and is not, inspected.



Condition Ratings & Terminology

To help describe the condition of the home, this report provides condition ratings to the main parts (the 'elements') of the building, garage and some parts outside. Some elements can be made up of several different parts.

In section **E** the elements are presented in an overall summary table with the elements that have the worst condition rating reported first. In the element boxes in parts **G, H, I, J and K**, the report describes the elements in more detail. The condition ratings are described below.

The report covers matters that, in the surveyor's opinion, need to be dealt with or may affect the value of the property.

3	Defects that are serious and/or need to be repaired, replaced or investigated urgently. Failure to do so could risk serious safety issues or severe long-term damage to your property
2	Defects that need repairing or replacing but are not considered to be either serious or urgent. These elements must also be maintained in the normal way.
1	No repair is currently needed. The elements listed here must be maintained in the normal way. No obvious defect / presence noted during the visual inspection.
NI	Not inspected (see section B Scope of Inspection).
N/A	No condition rating provided as element not present or not applicable.

Where the phrases immediate, short term, medium term, long term and very long term are used they generally mean the following:

Immediate:	As soon as possible
Short term:	Within 1 - 3 years
Medium term:	Within 3 - 5 years
Long term:	Within 5 - 10 years
Very long term:	Within 10 - 20 years



About the Inspection

Surveyor's Name

Vincent Brady

Surveyor's Qualification

BSc NCEA Cert Eng PGrad Dip MIEI

Company Name

Banrach Consulting Engineers

Contact Details

vincent@banrach.ie
01 627 3195
Unit A7, M4 Business Park, Celbridge, Co. Kildare , W23 YYA9, Ireland

Date of the inspection

14th June 2024

Report reference number

Related party disclosure

Not applicable

Full address of the property

ARODSTOWN HOUSE
ARODSTOWN
SUMMERHILL
CO. MEATH
A83 DC03

Weather conditions when the inspection took place

When I inspected the property, the weather was hot and sunny.

The status of the property when the inspection took place

The property was unoccupied by present owners at the time of inspection.

The property was unfurnished.

Overall Opinion and Summary of the Condition Ratings

This section provides our overall opinion of the property and summarises the condition ratings of the different elements of the property. To determine the condition of the property, the Surveyor assesses the main parts (the 'elements') of the building, garage and some outside areas. These elements are rated on the urgency of maintenance needed, ranging from 'very urgent' to 'no issues recorded'.

If an element is made up of several different parts (for example, a pitched roof to the main building and a flat roof to an extension), only the part in the worst condition is noted here.

To make sure you get a balanced impression of the property, the Surveyor strongly recommends that you read all sections of the report, in particular the 'What to do now' section and discuss this with the Surveyor if required.

The overall opinion of the property

The property is in a derelict condition which therefore requires substantial renovation works throughout. I recommend that drawings and details are produced to tender, construct and certify the works required to achieve a fully habitable, functioning dwelling.

3

Elements that require urgent attention

Section of the report	Element number	Element name
G: Outside the property	G2	Roof coverings
	G3	Rainwater pipes and gutters
	G4	Main walls
	G5	Windows
	G6	External doors
	G9	External Decoration
H: Inside the property	H1	Roof structure
	H2	Ceilings
	H3	Walls and partitions
	H4	Floors
	H6	Built-in fittings
	H7	Woodwork (e.g. staircase and joinery)
	H8	Bathroom fittings
	H9	Dampness, condensation and timber defects
	H10	Thermal insulation & energy efficiency
	H11	Internal Decoration
	I: Services	
J: Grounds		
K: Hazards & Environment	K4	Security & means of escape

2

Elements that require attention but are not serious or urgent

Section of the report	Element number	Element name
G: Outside the property	G1	Chimney stacks
H: Inside the property		
I: Services		
J: Grounds		
K: Hazards & Environment		

1

Elements with no current issues

Section of the report	Element number	Element name
G: Outside the property		
H: Inside the property		
I: Services		
J: Grounds		
K: Hazards & Environment		

NI

Elements not inspected

Section of the report	Element number	Element name
G: Outside the property		
H: Inside the property	H5	Fireplaces, chimney breasts and flues
I: Services	I1 I3 I4 I5 I6	Electricity Water supply & plumbing Heating Water heating Drainage
J: Grounds	J3	Boundary & Other
K: Hazards & Environment	K1 K2 K3 K5 K6 K7	Asbestos Pyrite Mica Flood risk Radon risk Invasive plants

N/A**No condition rating provided as element not present or not applicable**

Section of the report	Element number	Element name
G: Outside the property	G7 G8	Conservatory and porches Other joinery and finishes
H: Inside the property		
I: Services	I2	Gas/Oil
J: Grounds	J1 J2	Garage Gardens & Outbuildings
K: Hazards & Environment		

About the Property

Please note that all references in this report to left, right, front or rear are described assuming the reader is standing within the front of the property facing the Front elevation of the property..

Type of property

The property is detached.

The property has 3 bedrooms.

Approximate year the property was built

My client informed me that the building dates as far back as the 1700's with works carried out during the 1950's.

Approximate year the property was extended

Approximate year the property was converted

Information relevant to apartments, flats and maisonettes

Freehold / Leasehold

We have not been advised of the tenure of the property.
Your Solicitor must advise you in this regard.

Construction

The dwelling house consists of old stone work walls, concrete to ground floor, suspended timber first floor and cut timber roof with cement fibre slates as finish.

Accommodation

Floor	Living rooms	Bed rooms	Bath or shower	Separate toilet	Kitchen	Utility Room	Conser-vatory	Other	Name of Other
Ground	1	1			1			1	Dining
First		3	1						

Energy Efficiency Rating

Under Part L Building Regulations, a BER Certificate (Building Energy Certificate) is required for any dwelling for sale. We recommend requesting a copy of the BER Cert for the dwelling. The BER report will have recommendations on how to improve the energy efficiency of the property.

The BER (Building Energy rating) was not shared with the Surveyor prior to the inspection.

Mains services

The marked boxes show that the mains services are present:

Gas	Electric	Water	Drainage
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

Central heating

Gas	Electric	Solid fuel	Oil
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Heat pumps	Solar	Other	None
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Other services or energy sources (including feed-in tariffs)

Solar PV Panels: I recommend that the property has Photovoltaic Panels designed and fitted to produce electricity and in turn reduce cost of energy bills.
Homeowners can now avail of receiving credit on their energy bill by selling it back to the grid.
I recommend Activ8 Solar Energies for free consultation where they can apply to SEAI for associated grant of €2,400.00.
Contact (0818) 929 828 or Conrad 0868358472.

Grounds

There is parking at the property to the front with gravel finish.

Location

The property is in a rural setting. It is approximately 5 km from Summerhill.

Facilities

The property is close to transport services, schools, shops, etc.

Local Environment

Outside the Property

Limitations to inspection

G1 Chimney stacks

The chimney stacks has a plaster finish.

2

From the ground inspection, the chimney appears to be an adequate height above the roof slope, i.e., 600mm -1.0m.

We did not examine the flashing externally up close due to its height.

We recommend fitting Jack Daw Deterrents to the chimney flues.

We recommend getting the chimneys cleaned and checked for workability via a CCTV camera survey before any use.

I recommend obtaining a competent Roofer to inspect further and carry out the necessary repairs based on this investigation.



Photo - 1

G2 Roof coverings

The main roof on the dwelling house consists of a pitched, with one hip, with cement fibre slate finish. The slates are in poor condition which require replacing.

3

The roof on the extension(s) consists of a flat, with a torch-on type finish, which requires replacing.



Photo - 2



Photo - 3



Photo - 4



Photo - 5



Photo - 6 Flat Roof to rear Kitchen extension requires replacing to a new Warm Roof system

G3 Rainwater pipes and gutters

The down pipes consist of uPVC.

3

Valley: There is a valley system which has deteriorated over the years and has let in water into the Roof and wall structure.

This has therefore caused significant structural damage which in-turn has rendered the dwelling house Structurally unsound and Dangerous.

G4 Main walls

Refer to photos below which shows current condition and issues detected.

3

The external walls are constructed of stonework throughout.

Sand & Cement Plaster: The walls have been plastered with sand and cement internally and externally.

This is an incorrect plaster mix to apply to a Limestone structure as stonework must be able to breathe and move.

I recommend removing the sand and cement plaster and carry out appropriate structural remediation required to restore the stonework.



Photo - 7



Photo - 8



Photo - 9



Photo - 10



Photo - 11 Note - structural bulge to front wall due to deteriorated roof valley.



Photo - 12



Photo - 13



Photo - 14



Photo - 15



Photo - 16



Photo - 17



Photo - 18



Photo - 19



Photo - 20



Photo - 21



Photo - 22



Photo - 23



Photo - 24



Photo - 25

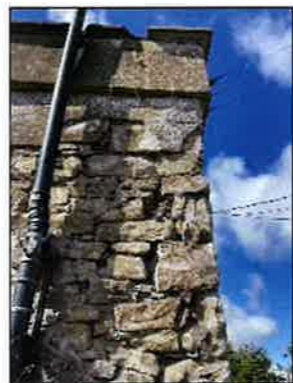


Photo - 26



Photo - 27



Photo - 28



Photo - 29



Photo - 30



Photo - 31



Photo - 32



Photo - 33



Photo - 34



Photo - 35



Photo - 36



Photo - 37



Photo - 38



Photo - 39



Photo - 40



Photo - 41

G5 Windows

Window Upgrade: In the interest of Energy Conservation and Fire escape safety I recommend that the windows be upgraded to a triple glaze system with the necessary safety features. Contact Grady Joinery 094 929 1000/ info@gradyjoinery.com.

3

The single glazed windows are made of timber.

I recommend replacing the windows due to poor condition (on going maintenance), energy efficiency and safety in respect to fire and usage. We recommend ensuring fire hinges and safety catches are part of any new window system being fitted as part of the overall energy upgrade.

The minimum open space required for a window to escape in the event of a fire is 450mm by 750mm with an area of at least 0.33m² in accordance with TGD Part B. All windows fitted to the dwelling house used for escape in the event of a fire must comply with the dimensions stated and have Fire

hinges fitted. This is to allow full opening to facilitate safe escape in the event of fire.

It is important to note that safety catches can be released in the event of a fire if escaping via window.



Photo - 42



Photo - 43

G6 External doors

I recommend upgrading draft proofing on external doors in the interest of energy conservation.

3

G7 Conservatory and porches

N/A

G8 Other joinery and finishes

N/A

G9 External Decoration

Refer to above in relation to removal of sand and cement plaster.

3

Inside the Property

Limitations to inspection

H1 Roof structure

The internal roof structure consists of a cut timber system.

3

I recommend removing the roof due to the following structural reasons;
No felt or breathable membrane fitted.

Infestation

Rotting occurring along the valley boards due to water ingress.

There are old roof beams which date back to the original build in which I recommend protecting by constructing enabling and temporary works as currently structurally unsound and dangerous.



Photo - 44 Note - rotten roof timbers and window heads throughout.



Photo - 45



Photo - 46



Photo - 47



Photo - 48



Photo - 49



Photo - 50



Photo - 51



Photo - 52 In-situ concrete slab over Kitchen extension over disused railway lines



Photo - 53 Incorrect reinforced concrete detail therefore must be removed as structurally unsound and dangerous.

H2 Ceilings

The ceilings are damp-stained and require removing.

3

H3 Walls and partitions

Note current condition internally.

The sand and cement plaster is in the process of being removed which now shows saturated stonework walls which must be dried out.

3



Photo - 54



Photo - 55



Photo - 56



Photo - 57



Photo - 58

H4 Floors

The ground floor is constructed of concrete slab, which is in poor condition with structural cracking and sinking occurring.

3

The upper floors are constructed of suspended timber system which is currently rotten and requires removing as structurally unsound and dangerous.



Photo - 59



Photo - 60



Photo - 61



Photo - 62



Photo - 63



Photo - 64



Photo - 65



Photo - 66



Photo - 67



Photo - 68



Photo - 69



Photo - 70



Photo - 71



Photo - 72



Photo - 73



Photo - 74



Photo - 75



Photo - 76



Photo - 77



Photo - 78



Photo - 79

H5 Fireplaces, chimney breasts and flues

All heating installations should be installed and serviced regularly (usually every year) by an appropriately qualified person.

NI

You should arrange to have the flues and chimneys to solid fuel burning appliances (even smokeless fuels) swept regularly and this should be done by a contractor experienced in this type of work.

You should ask your legal adviser to check whether: the solid fuel burning appliance has been safety checked and whether the chimney has been swept within the last 12 months. If this has not been done, you should ask an appropriately qualified person to do this before you use the appliance.

If you plan to install a new solid-fuel, multi-fuel, or wood-burning appliance, because they operate at higher temperatures it is likely the inside of the chimney will have to be lined.



Photo - 80



Photo - 81



Photo - 82



Photo - 83

H6 Built-in fittings

The Kitchen units are in poor condition throughout. Therefore it is more cost effective to replace these built in units.

3

H7 Woodwork (e.g. staircase and joinery)

Internal joinery is in poor condition throughout and is more cost effective to replace than to fix.

3



Photo - 84



Photo - 85



Photo - 86

H8 Bathroom fittings

The current bathroom systems are in poor condition and require replacing throughout.

3



Photo - 87

H9 Dampness, condensation and timber defects

On the day of inspection, we were equipped with a moisture meter which detected high moisture readings throughout. We recommend investigating this further as the building requires professional Damp-Proofing. The damp issues detected must be remediated as this affects the integrity of the structural fabric rendering it dangerous to the occupants.

3

TGD F building regulations state a mechanically operated ventilation system be installed by means of interfacing with light switch providing 3 air changes per hour with auto cut off delay in any main bathroom, en-suite and utility room.

We recommend fitting a mechanical ventilation to the bathrooms.

Two number wall vents must be incorporated into any room with a Gas fireplace, i.e., one at low level and one at high level. The wall vents must be located away from window and door opens on the external wall to reduce the risk of cracking occurring.

It appears that passive ventilation is not fitted to all of the bedrooms and therefore requires fitting.



Photo - 88



Photo - 89



Photo - 90

H10 Thermal insulation & energy efficiency

Insulation & Air-tightness Upgrade: I recommend contacting JPP Insulation's (046) 9558644/ info@jppinsulations.ie who provide various systems of Insulation & Air-tightness.

3

Given the age and condition of the dwelling, it appears that there is no thermal insulation fitted on the external walls and attic.

This will therefore result in lower internal temperatures and higher heating costs.

I recommend that the dwelling is professionally and adequately insulated to improve the energy efficiency and to comply with current TGD Part L Building Regulations.

H11 Internal Decoration

The internal decorations are generally in poor condition. The property requires extensive redecoration works throughout.

3

Services

Services are generally hidden within the construction of the property. This means that the Surveyor can only inspect the visible parts of the available services, and he/she does not carry out specialist tests. The visual inspection cannot assess the services to make sure they work efficiently and safely, or meet modern standards.

Limitations to inspection

I1 Electricity

Safety warning: It is recommended that you should get a registered electrician to check the property and its electrical fittings and that a periodic inspection and testing is carried out at the following times: for tenanted properties every 5 years or at each change of occupancy, whichever is sooner; at least every 10 years for an owner-occupied home.

There is a mains electricity supply and the meter unit is located in the Hall.

NI

The electricity supply was off when I inspected.

I recommend obtaining a competent Registered Electrician to design, replace and rewire new compliant certified system.



Photo - 91



Photo - 92

I2 Gas/Oil

Safety warning: All gas and oil appliances and equipment should regularly be inspected, tested, maintained and serviced by an appropriately qualified Registered Gas Installer (RGI) or Registered Heating Engineer and in line with the manufacturer's instructions. For tenanted properties by law a 12 monthly gas safety check must be carried out on every gas appliance/flue. A gas safety check will make sure gas fittings and appliances are safe to use. This is important to make sure that the equipment is working correctly, to limit the risk of fire and carbon monoxide poisoning and to prevent carbon dioxide and other greenhouse gases from leaking into the air.

N/A

I3 Water supply & plumbing

Safety warning: It is recommended that you should get a fully insured and registered plumber to check the property's drains and its plumbing fittings and that a periodic inspection and testing is carried out at the following times: for tenanted properties every 5 years or at each change of occupancy, whichever is sooner; at least every 10 years for an owner-occupied home.

The dwelling requires a new Water Supply & Plumbing system to be fitted.

NI

I4 Heating

The dwelling house heat source consists of solid fuel, and is heated by a range.

NI

We recommend obtaining a competent Plumbing Contractor to fit a new Heat Pump system, thermostatically controlled and zoned energy efficient system.

I5 Water heating

The hot water is provided by an immersion.

NI



Photo - 93

I6 Drainage

PLEASE NOTE: That no underground pipe work was inspected as this will require a CCTV camera survey. We recommend obtaining CCTV camera survey of the external drainage to determine if any issues exist.

NI

It is important to note that no inspection of the underground waste water treatment/Percolation system was carried out as works are covered up.

The current system fitted consists of the original Septic Tank with typically associated soak pit. Therefore, no adequate Percolation system was fitted, which was commonplace for the time of construction.

We recommend the following is carried out: Percolation Test which determines the type of ground and in turn a suitably designed Wastewater Treatment & Percolation system is fitted to certify Compliance with EPA COP (Environmental Protection Agency Code of Practice).

Soil Vent Pipe (SVP) located to the rear/side requires repairing/installing.

There are currently County Council Grants available for the replacement/upgrade of Septic Tank/Wastewater Treatment and Percolation systems.

I7 Common services

Grounds (including shared areas for apartments or flats)

Limitations to inspection

J1 Garage

J2 Gardens & Outbuildings

J3 Boundary & Other

Condition of Boundaries: Refer to photos below highlighting the current condition and issues detected to the boundaries and grounds.

NI

Vendors solicitor to provide a Land Registry Compliant Map to check that the boundaries on the map correlate with what is on the ground.



Photo - 94



Photo - 95



Photo - 96



Photo - 97



Hazardous Materials & Environmental Concerns

K1 Asbestos

An Asbestos inspection does not form part of our building survey. In the event that Asbestos is noted within the body of the report it is therefore recommended that you commission a specialist Asbestos Surveyor and/or Asbestos Contractor to determine type and cost for safe removal and disposal with all necessary certifications.

NI

K2 Pyrite

We have not undertaken a full Pyrite survey as part of this report and are therefore unable to comment that the property is free from such material. Should you require assurances in this respect we would strongly advise you instruct a competent person to perform a Pyrite test in accordance with NSAI Standard I.S. 398-1:2017.

I cannot comment on Pyrite in stone fill within floor slab areas or other areas that require stone fill unless developers have certificates on Pyrite tested/certified stone. I cannot comment if any cracking is from Pyrite unless a sample is taken from the floor slab from a soil investigation firm to determine if there is Pyrite present.

NI

K3 Mica

We have not undertaken a Mica survey as part of this report and are therefore unable to comment that the property is free from such material. Should you require assurances in this respect we would strongly advise you obtain the relevant report from suitably qualified consultants.

MICA: Certain precast concrete products, mainly precast concrete blocks have been found to have had serious structural defects caused by the mineral called 'Mica.' Micas are a group of silicate minerals whose outstanding physical characteristic is that individual mica crystals can easily be split into extremely thin elastic plates. Where unfortunately Quality Assurance was not carried out in certain Quarries hence block-built houses mostly in the West and Northwest of Ireland have showed structural distress and have been tested and were found to contain more than the maximum permitted amount of the mineral mica. Therefore, you must query your Solicitor to check whether this property has been tested for Mica in accordance with current guidance.

NI

K4 Security & means of escape

No Smoke Detection: On inspection no Smoke Detection was fitted to the dwelling.

3

Under Building Regulations, we recommend fitting Smoke Alarm BS 5839 Part 6 mains powered with battery backup to be installed in the interest of safety of the occupants to ground floor hall, bedrooms, first and second floor landings and heat sensor alarm to kitchen. Alarms to be fitted by a competent professional.

We recommend a competent professional fits a Heat Sensor(s) as none were fitted at the time of inspection.

Carbon Monoxide alarms must comply with I.S. EN 50291-1:2010/A1:2012. The units must be fitted in a room where the appliance is located and either inside each bedroom or within 53/16ft of the bedroom door, measured along the path of the corridor.

Where a chimney system is being used with any heat producing appliance and the flue passes within or over a habitable room whether encased or not then a CO alarm must be fitted in the room.

There appears to be no Carbon Monoxide Alarm units fitted to the dwelling.



K5 Flood risk

Visit www.floodinfo.ie to check if the property is in an area that is vulnerable to flooding.

NI

K6 Radon risk

If you want more information on radon gas, you should contact the Environmental Protection Agency (EPA) at PO Box 3000, Johnstown Castle Estate, County Wexford, Y35 W821 or visit the website at www.epa.ie.

NI

K7 Invasive plants

Invasive plants inspection does not form part of our building survey. I have not checked for Japanese Knotweed, or any other invasive plants.
It is recommended that you commission an inspection and a report from a qualified contractor in this regard, if it is a concern for you, as I cannot rule out the presence of Japanese Knotweed, or any other invasive plants.

NI

Issues for your Legal Advisers

The Surveyor does not act as 'the Legal Adviser' and will not comment on any legal documents. However, if during the inspection the Surveyor identifies issues that your Legal Advisers may need to investigate further, the Surveyor may refer to these in the report (for example, check whether there is a warranty covering replacement windows).

L1 Regulation

It is important to note that we, BCE carried out no Flooding, Planning or FSC (Fire Safety Certificate) searches for this development.

Vendors solicitor to provide a Land Registry Compliant Map to check that the boundaries on the map correlate with what is on the ground.

Check with your Solicitor to confirm whether the extension has the necessary Certificate of Compliance with Planning Permission & Building Regulations.

L2 Guarantees & warranties

L3 Insurance & reinstatement

It's important that the correct estimated up-to-date reinstatement cost to re-build the property is confirmed when taking out a new Home Insurance Policy.

L4 Other matters

You should ask your legal adviser for documentation of the most recent electrical safety certs produced for the property. You should ask your legal adviser for documentation of the most recent gas, oil and heating appliance safety cert produced for the property.

You should ask your legal adviser to check whether: the solid fuel burning appliance has been safety checked, and whether the chimney has been swept within the last 12 months. If this has not been done, you should ask an appropriately qualified person to do this before you use the appliance.



Risks

This section summarises defects and issues that present a risk to the building or grounds, or a safety risk to people. These may have been reported and condition rated against more than one part of the property or may be of a more general nature, having existed for some time and which cannot be reasonably changed.

M1 Risks to the building

M2 Risks to the grounds

M3 Risks to people

M4 Other



Surveyor's Declaration

"I confirm that I have inspected the property and prepared this report"

Signature

Vincent Brady

Qualifications

BSc NCEA Cert Eng PGrad Dip MIEI

For and on behalf of:

Company

Banrach Consulting Engineers

Address

Unit A7, M4 Business Park, Celbridge

County

Co. Kildare

Postcode

W23 YYA9

Phone number

01 627 3195

Email

vincent@banrach.ie

Property address

ARODSTOWN HOUSE ARODSTOWN, SUMMERHILL, CO. MEATH, A83 DC03

Clients name

Ian Douglas

Date this report was produced

Sun 30th Jun 2024

Disclaimers

This report has been prepared by a surveyor ('the Individual Surveyor') merely in his or her capacity as an employee or agent of a firm or company or other business entity ('the Company'). The report is the product of the Company, not of the Individual Surveyor.

All of the statements and opinions contained in this report are expressed entirely on behalf of the Company, which accepts sole responsibility for these. For his or her part, the Individual Surveyor assumes no personal financial responsibility or liability in respect of the report and no reliance or inference to the contrary should be drawn.



What To Do Now

Getting quotations

The cost of repairs may influence the amount you are prepared to pay for the property. Before you make a legal commitment to buy the property, you should get reports and quotations for all the repairs and further investigations the surveyor may have identified.

You should get at least two quotations from experienced contractors who are properly insured. You should also:

- ask them for references from people they have worked for;
- describe in writing exactly what you will want them to do; and
- get the contractors to put the quotations in writing.

Some repairs will need contractors with specialist skills and who are members of regulated organisations (for example, electricians, gas engineers, plumbers and so on). Some work may also need you to get Building Regulations permission or planning permission from your local authority.

Further investigations

If the surveyor is concerned about the condition of a hidden part of the building, could only see part of a defect or does not have the specialist knowledge to assess part of the property fully, the surveyor may have recommended that further investigations should be carried out to discover the true extent of the problem.

Who you should use for these further investigations?

You should ask an appropriately qualified person, though it is not possible to tell you which one. Specialists belonging to different types of organisations will be able to do this. For example, qualified electricians can belong to five different government-approved schemes. If you want further advice, please contact the surveyor.

What the further investigations will involve

This will depend on the type of problem, but to do this properly, parts of the home may have to be disturbed and so you should discuss this matter with the current owner. In some cases, the cost of investigation may be high.

When to do the work

The condition ratings help describe the urgency of the repair and replacement work. The following summary may help you decide when to do the work.

- **Condition rating 2** – repairs should be done soon. Exactly when will depend on the type of problem, but it usually does not have to be done right away. Many repairs could wait weeks or months, giving you time to organise suitable reports and quotations.
- **Condition rating 3** – repairs should be done as soon as possible. The speed of your response will depend on the nature of the problem. For example, repairs to a badly leaking roof or a dangerous gas boiler need to be carried out within a matter of hours, while other less important critical repairs could wait for a few days.

Warning

Although repairs of elements with a condition rating 2 are not considered urgent, if they are not addressed they may develop into defects needing more serious repairs. Flat roofs and gutters are typical examples. These can quickly get worse without warning and result in serious leaks.

As a result, you should regularly check elements with a condition rating 2 to make sure they are not getting worse.

Description of the Building Survey Report Service

The service

The Building Survey Report Service includes:

- a visual inspection of the property (see 'The inspection');
- a report based on the inspection (see 'The report').

The Surveyor who provides the service aims to give you professional advice to help you to:

- make an informed decision on whether to go ahead with buying the property
- take account of any repairs or replacements the property needs;
- describe the identifiable risk of potential or hidden defects; and
- consider what further advice you should take before committing to purchase the property

The inspection

The Surveyor inspects the inside and outside of the main building and all permanent outbuildings, but does not force or open up the fabric. This means that the Surveyor does not take up carpets, floor coverings or floorboards, move furniture, remove the contents of cupboards, roof spaces, etc., remove secured panels and/or hatches or undo electrical fittings.

If necessary, the Surveyor carries out parts of the inspection when standing at ground level from public property next door where accessible. The Surveyor may use equipment such as a damp-meter, binoculars and torch, and may use a ladder for flat roofs and for hatches no more than 3 metres above level ground (outside) or floor surfaces (inside) if it is safe to do so. No account can be taken for work/issues that have been covered up.

Services to the property

Services are generally hidden within the construction of the property. This means that only the visible parts of the available services can be inspected, and the Surveyor does not carry out specialist tests. The visual inspection cannot assess the efficiency or safety of electrical, gas or other energy sources; plumbing, heating or drainage installations (or whether they meet current regulations); or the inside condition of any chimney, boiler or other flue.

Outside the property

The Surveyor inspects the condition of boundary walls, fences, permanent outbuildings and areas in common (shared) use. To inspect these areas, the Surveyor walks around the grounds and any neighbouring public property where access can be obtained. Buildings with swimming pools and sports facilities are also treated as permanent outbuildings, but the Surveyor does not report on the leisure facilities, such as the pool itself and its equipment, landscaping and other facilities (for example, tennis courts and temporary outbuildings).

Apartments or Flats

When inspecting apartments or flats, the Surveyor assesses the general condition of outside surfaces of the building, as well as its access areas (for example, shared hallways and staircases). The Surveyor inspects roof spaces only if they are accessible from within the property. The Surveyor does not inspect drains, lifts, fire alarms and security systems.

Dangerous materials, contamination and environmental issues

The Surveyor does not make any enquiries about contamination or other environmental dangers. However, if the Surveyor suspects a problem, he or she should recommend a further investigation. The Surveyor may assume that no harmful or dangerous materials have been used in the construction and does not have a duty to justify making this assumption. However, if the inspection shows that these materials have been used, the Surveyor must report this and ask for further instructions.

The Surveyor does not carry out an asbestos inspection and does not act as an asbestos inspector when inspecting properties that may fall within the Control of Asbestos Regulations 2012. With flats, the Surveyor assumes that there is a 'duty holder' (as defined in the regulations), and that in place are an asbestos register and an effective management plan which does not present a significant risk to

health or need any immediate payment. The Surveyor does not consult the duty holder.

The report

The Surveyor produces a report of the inspection for you to use but cannot accept any liability if it is used by anyone else. If you decide not to act on the advice in the report, you do this at your own risk. The report focuses on matters that, in the surveyor's opinion, may affect the value of the property if they are not addressed.

The report is in a standard format and includes the following sections.

- A Introduction
- B Scope of Instruction
- C Conditions & Terminology
- D About the Inspection
- E Overall Opinion and Summary of the Condition Ratings
- F About the Property
- G Outside the Property
- H Inside the Property
- I Services
- J Grounds (including shared areas for flats / apartments)
- K Hazardous Materials & Environmental Concerns
- L Issues for your Legal Advisers
- M Risks
- N Surveyor's Declaration
- O What to do now
- P Description of the Building Survey Report Service
- Q Typical house diagram

Condition ratings

The Surveyor gives condition ratings to the main parts (the 'elements') of the main building, garage and some outside elements. The condition ratings are described as follows.

Condition rating 3 – defects that are serious and/or need to be repaired, replaced or investigated urgently.

Condition rating 2 – defects that need repairing or replacing but are not considered to be either serious or urgent. The property must be maintained in the normal way.

Condition rating 1 – no repair is currently needed. The property must be maintained in the normal way.

NI – not inspected.

N/A – No condition rating provided as element not present or not applicable.

The Surveyor notes in the report if it was not possible to check any parts of the property that the inspection would normally cover. If the Surveyor is concerned about these parts, the report tells you about any further investigations that are needed.

The Surveyor does not report on the cost of any work to put right defects or make recommendations on how these repairs should be carried out. However, there is general advice in the 'What to do now' section at the end of the report.

Energy

The Surveyor has not prepared the Building Energy Rating Certificate (BER) as part of the Service for the property. If the Surveyor has seen the current BER, he or she will present the energy- efficiency and environmental impact ratings in this report. The Surveyor does not check the ratings and cannot comment on their accuracy.

Issues for legal advisers

The Surveyor does not act as 'the Legal Adviser' and does not comment on any legal documents. If, during the inspection, the Surveyor identifies issues that your legal advisers may need to investigate further, the Surveyor may refer to these in the report (for example, check whether there is a warranty covering replacement windows).

This report has been prepared by a Surveyor ('the Individual Surveyor') merely in his or her capacity as an employee or agent of a firm or company or other business entity ('the Company'). The report is the product of the Company, not of the Individual Surveyor. All of the statements and opinions contained in this report are expressed

entirely on behalf of the Company, which accepts sole responsibility for these. For his or her part, the Individual Surveyor assumes no personal financial responsibility or liability in respect of the report and no reliance or inference to the contrary should be drawn.

In the case of sole practitioners, the surveyor may sign the report in his or her own name unless the surveyor operates as a sole trader limited liability company.

Risks

This section summarises defects and issues that present a risk to the building or grounds, or a safety risk to people. These may have been reported and condition rated against more than one part of the property or may be of a more general nature, having existed for some time and which cannot reasonably be changed.

If the property is leasehold, the Surveyor may give you general advice and details of questions you should ask your legal advisers.

Standard terms of engagement

- 1 The service** – the Surveyor provides the standard Survey Service ('the service') described in the 'Description of the Building Survey Report Service', unless you and the Surveyor agree in writing before the inspection that the surveyor will provide extra services. Any extra service will require separate terms of engagement to be entered into with the Surveyor. Examples of extra services include:
 - costing of repairs
 - schedules of works
 - supervision of works
 - re-inspection and
 - detailed specific issue reports.
- 2 The surveyor** – the service is to be provided by a qualified Surveyor, who has the skills, knowledge and experience to survey and report on the property.
- 3 Before the inspection** – you tell the Surveyors if you have any concerns (such as plans for extension) about the property.
- 4 Terms of payment** – you agree to pay the Surveyor's fee and any other charges agreed in writing.
- 5 Cancelling this contract** – nothing in this clause 5 shall operate to exclude, limit or otherwise affect your rights to cancel under the Consumer Contracts Regulations or the Consumer Rights Act, or under any such other legislation as may from time to time be applicable. Entirely without prejudice to any other rights that you may have under any applicable legislation, you are entitled to cancel this contract in writing by giving notice to the Surveyor's office at any time before the day of the inspection, and in any event within fourteen days of entering into this contract. Please note that where you have specifically requested that the Surveyor provides services to you within fourteen days of entering into the contract, you will be responsible for fees and charges incurred by the Surveyor up until the date of cancellation.
- 6 Liability** – the report is provided for your use, and the Surveyor cannot accept responsibility if it is used, or relied upon, by anyone else.

Complaints handling procedure

The Surveyor is required to provide you with contact details, in writing, for their complaints department or the person responsible for dealing with client complaints. Where the Surveyor is party to a redress scheme, those details should also be provided. If any of this information is not provided, please notify the Surveyor and ask that it be supplied.

Note: These terms form part of the contract between you and the surveyor.

Elements, structure, finishes, components and services

During the inspection the Surveyor has been as thorough as possible in the circumstances though they have not inspected woodwork or other parts of the structure which are covered, unexposed or inaccessible and they are therefore unable to report that such parts of the property are free of rot, beetle or other defects. The Surveyor has, however endeavoured to draw reasonable conclusions from the available evidence.

Whilst the report includes comments upon the principal elements of the fabric of the building or the demised premises, especially floors, walls and roof as appropriate, together with general remarks on the finishes and services, it does not extend to a list of minor items that are not relevant to the main advice. Similarly, the Surveyor has examined major outbuildings but has not made detailed comment about light or temporary structures unless specified to the contrary. External roof surfaces, chimneys, gutters, eaves, boards and other features at high level have been viewed from the ground or from the upper storey windows, unless access to the roof access to the roof was readily, and safely, obtainable during our inspection.

The Surveyor has not, except to the extent mentioned in the report, carried out any tests or made any enquiries concerning particular materials nor have we calculated any floor areas or reappraised original design criteria.

The Surveyor has visually examined the services to the building where these are not covered up and, as a result, are exposed to such an inspection. The Surveyor has not made any specific or specialist test of them.

The Surveyor has undertaken a visual inspection of the accessible services and comment on any obvious defects, but is not a qualified electrician, gas engineer, plumber or drainage contractor and is therefore not qualified to test or comment in detail upon the services within the building. The Surveyor will not lift up any fixed floor coverings, move heavy furniture, remove secured panels. The Surveyor will also not remove any stored goods or the contents of cupboards.

Third party indemnities or claims

Where the Surveyor binds in documents produced by others within our reports, these are provided for convenience and to take aid in placing our report in context. The Surveyor does not undertake to check the accuracy of such documents, unless otherwise agreed and confirmed by ourselves.

The Surveyors commenting upon documents produced by others within our report should not be thought of as a substitute for referring to the documents for full provisions made. The Surveyor has based their comment upon the documentation made available at the time of our inspection and report. The Surveyor can take no responsibility where the context of missing or delayed documents conflicts with their assessment.

Should further relevant documentation subsequently be made available then the Surveyor would recommend that you provide them with copies so that they might amend or refine our advice to you. In the event of any conflict or query upon the documentation, you should obtain your solicitor's view prior to initiating any action.

Risk analysis

The Surveyor comments upon any major risk hazards they might have seen during the course of their on site inspection where specifically requested by you and they have written accepting such instructions. The Surveyor has undertaken to do so on the understanding that their comments do not result from an exhaustive or detailed investigation but rather are those which might reasonably be seen during the duration of their inspection and viewed in light of the weather conditions at the time.

Interim reports

Any reports, verbal or in writing, given to the client prior to the issue of the completed written survey report, represent the interim views only and the Surveyor reserves the right to develop further any opinions expressed. In addition, the Surveyor reserves their right to add further opinions, or more comment upon relevant items, within the completed written survey report.

Deleterious materials

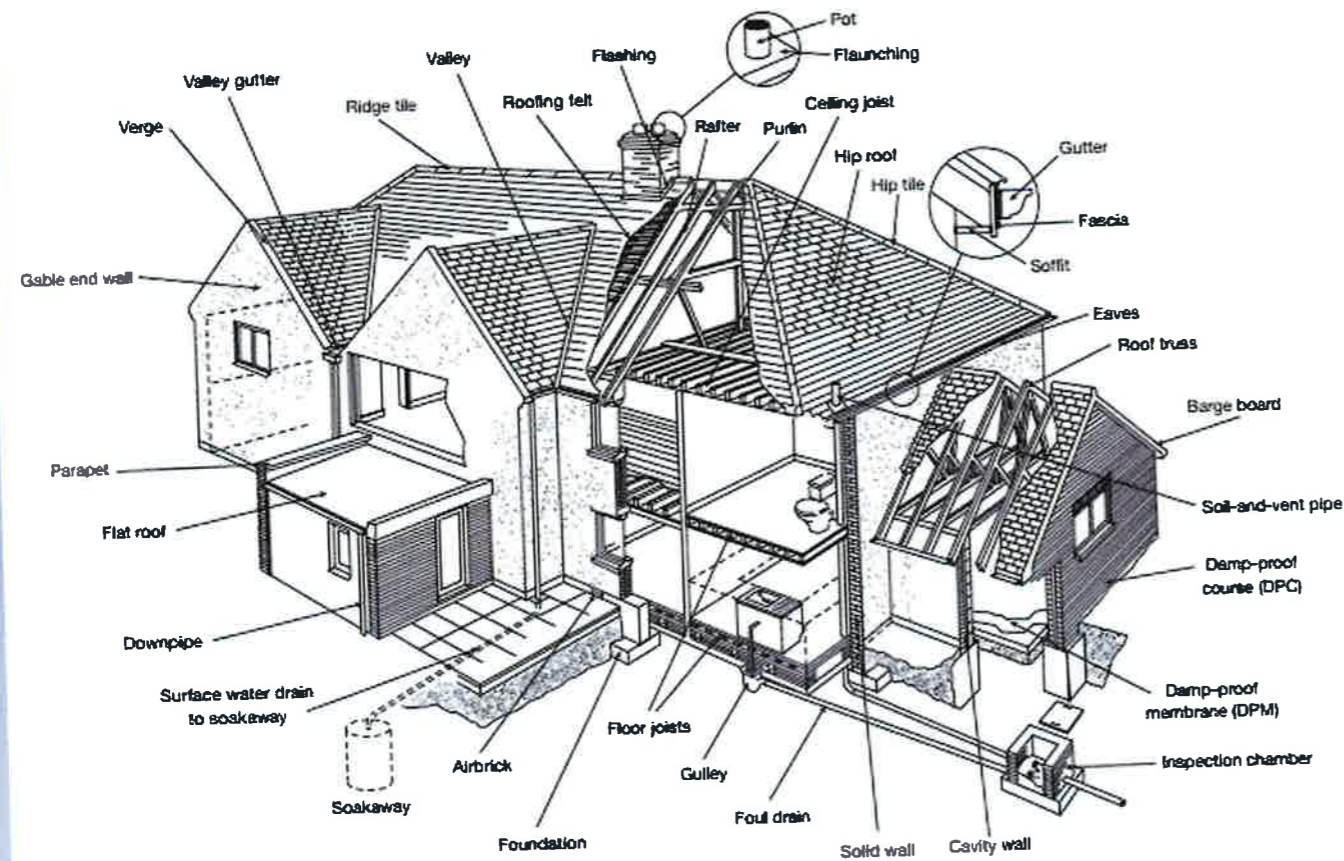
Where lists of precluded materials are forthcoming from others the Surveyor does not warrant that such materials are deleterious.

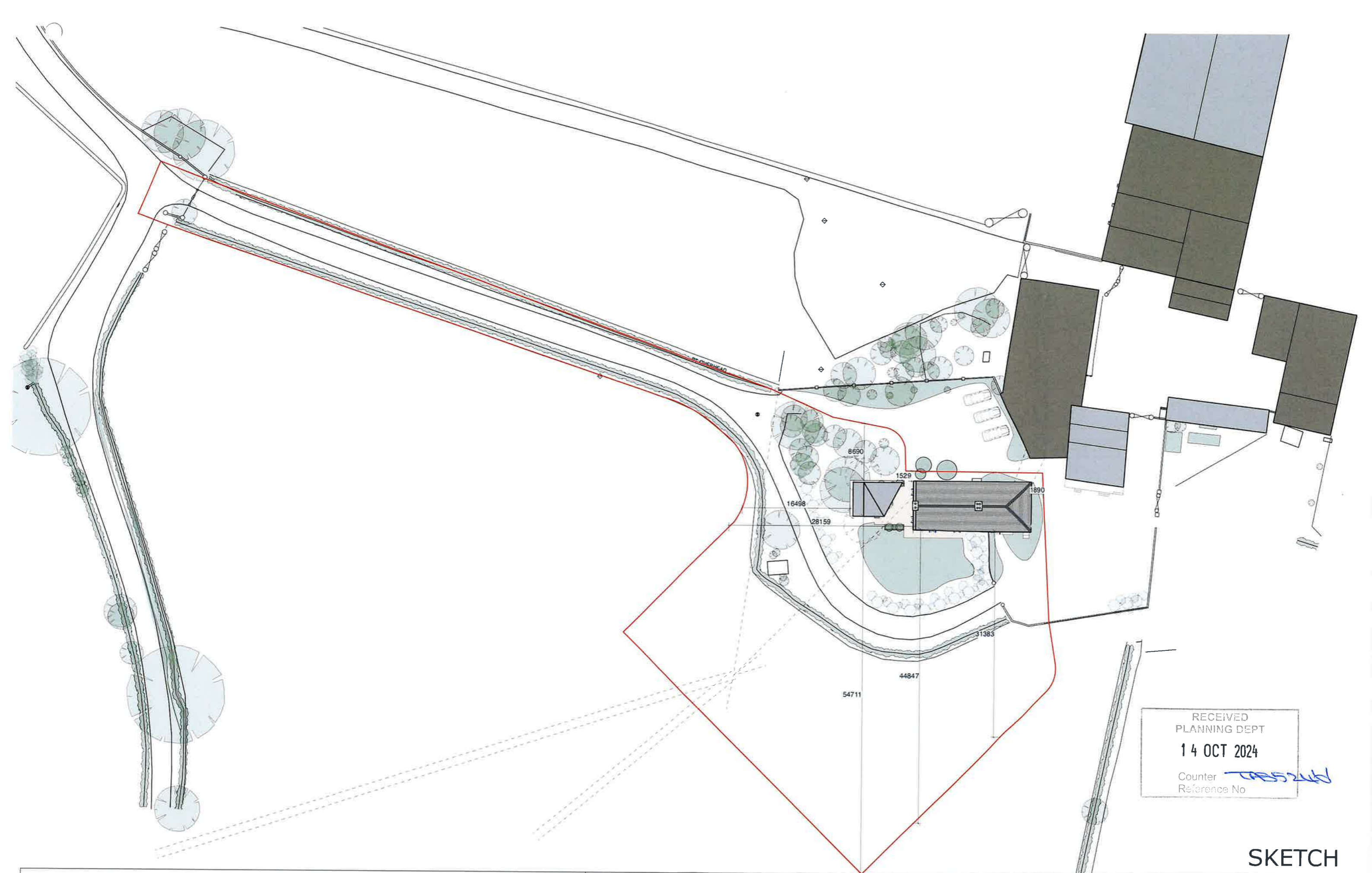
The Surveyor has not undertaken an asbestos, pyrite or mica survey as part of this report and are therefore unable to comment that the property is free from such material. Should you require assurances in this respect we would strongly advise you obtain the relevant report from suitably qualified consultants.



Typical House Diagram

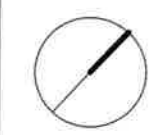
This diagram illustrates where you may find some of the building elements referred to in the report.





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 Reference No

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STUDIO RED ARCHITECTS a: Office 5, 64 Dame Street, Dublin 2, D02 XD43 t: +353 (0)1 441 0001 e: mail@studiorred.ie w: www.studiorred.ie DIRECTORS: N. Ryan B ARCH Sc, DIP ARCH, MRIAI G. Dunne B ARCH Sc, DIP ARCH, MRIAI

REV	DATE	DESCRIPTION	DRAWING NO:	2412 ARO SK 00 001	REV:
			PROJECT:	DWELLING AT ARODSTOWN, SUMMER HILL, CO. MEATH	
			DRAWING:	PROPOSED SITE PLAN	

SCALE:	1:500
JOB NO:	2412
SERIES:	SKETCH
DATE:	12/07/2024
DRAWN BY:	CC
CHECKED BY:	GD

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Comhairle Chontae na Mí

Roimh Pleanáil,
Teach Buvinda, Bóthar Átha Cliath,
An Uaimh, Contae na Mí, C15 Y291
Fón: 046 – 9097500/Fax: 046 – 9097001
R-phost: planning@meathcoco.ie
Web: www.meath.ie



Meath County Council

Planning Department
Buvinda House, Dublin Road,
Navan, Co. Meath, C15 Y291
Tel: 046 – 9097500/Fax: 046 – 9097001
E-mail: planning@meathcoco.ie
Web: www.meath.ie

APPLICATION FORM – DECLARATION ON DEVELOPMENT & EXEMPTED DEVELOPMENT

Part 1 Section 5 of Planning and Development Act 2000-2021, as amended

1. **Name:** Ian Douglas and Rachel Holland

Contact details: to be supplied at the end of this form (Question 13)

2. **Name of person/ agent acting on behalf of the applicant, if applicable**

n/a

Contact details: to be supplied at the end of this form (Question 14)

3. **Location of Development and/or Subject Site:** Arodstown, Summerhill, Co Meath.
A83 DC03

4. **Description of Development:** Renovation of existing farmhouse.

5. **Will the development take place within the curtilage of a dwelling house?**

Please tick as appropriate: YES NO

6. **Will / does development take place in / on a Protected Structure or within the curtilage of a Protected Structure?**

Please tick as appropriate: YES NO

6(b) **If "YES", has a Declaration under Section 57 of the Planning & Development Act 2000 – 2014, as amended, been requested or issued for the property by the Planning Authority?**

Please tick as appropriate: YES NO

7. **State overall height of structure if applicable:** 8.2m

8. **State in square metres the floor area of the proposed development:**

221m²

9. **List of plans/drawings etc. submitted:**

Existing elevations. Yes
Existing ground floor layout. Yes
Existing 1st floor layout. Yes
Proposed elevations. Yes
Proposed ground floor plan. Yes
Proposed first floor plan. Yes
Site location map. Yes

10. **Please state applicants interest in this site**

Owner occupier



If applicant is not the owner of site, please provide name & address of owner: Albert Douglas (Ian's father), Arodstown, Summerhill, Co Meath A83DC03 Lands currently undergoing transfer

11. Are you aware of any enforcement proceedings connected to this site?

Please tick as appropriate: YES ___ NO X

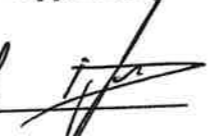
11 (b), If "YES" please supply details:

12. Are you aware of any previous planning application/s on this site?

Please tick as appropriate: YES X NO ___

12 (b), If "YES" please supply details:

Planning Ref: 2460073 by current applicants which was withdrawn

SIGNED: Rachel Holland  DATE: 30th - 8th - 2024

NOTES

1. Application Fee of €80

2. Application shall be accompanied by:

- 2 copies of site location map to scale 1:2500 clearly showing the site outlined in red and the extent of the site boundaries, the position of existing structures, etc., and the proposed work.
- 2 drawings to scale (1:200) of the proposed development (including floor plan and elevations), if appropriate.
- Two site layout plans to scale 1:500 if appropriate. Please submit 2 copies of any additional plans/reports etc. you may wish to include as part of the application.

Application shall be forwarded to: Meath County Council, Planning Department, Buvinda House, Dublin Road, Navan, Co. Meath.

Contact Details: Phone: 046 9097500 Fax: 046 9097001
Email: planning@meathcoco.ie



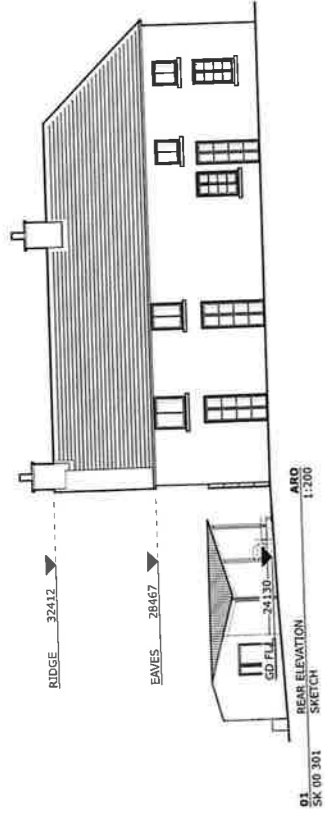
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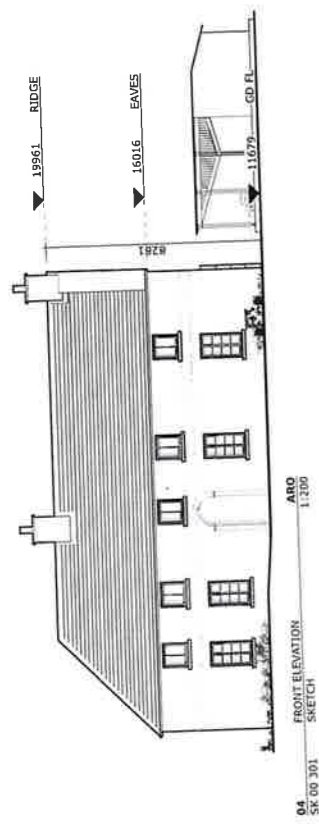
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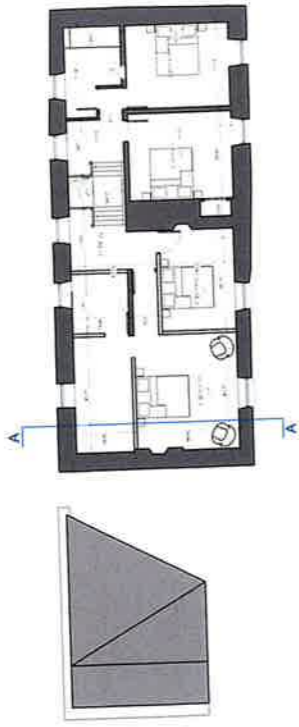
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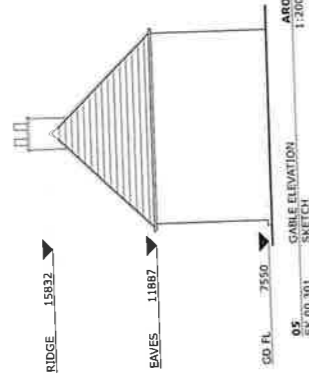
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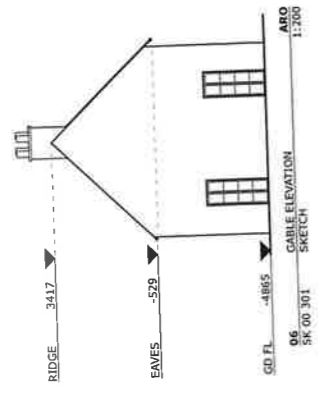
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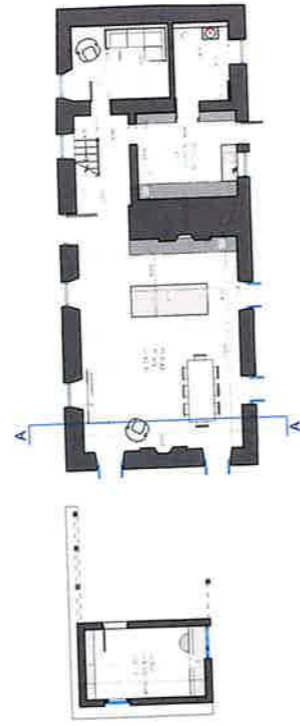
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PROPOSED FIRST FLOOR PLAN
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05 SK 00 301
CABLE ELEVATION
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06 SK 00 301
CABLE ELEVATION
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03 SK 00 301
PROPOSED GROUND FLOOR PLAN
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07 SK 00 301
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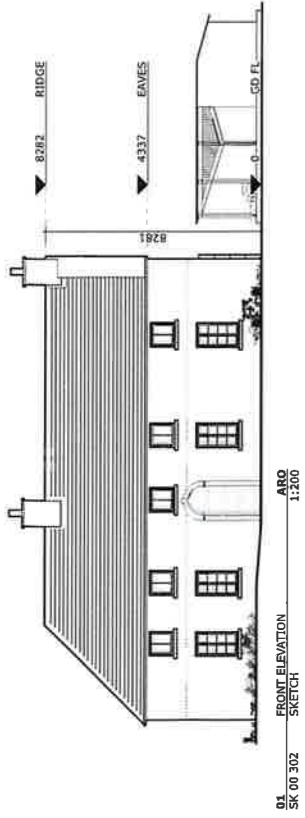
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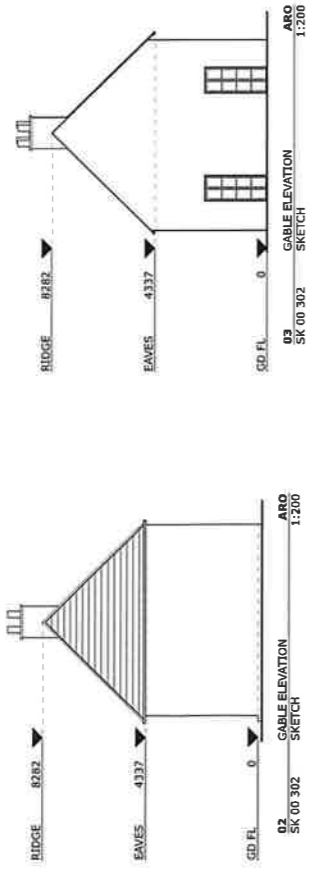


STUDIO RED ARCHITECTS 1015 S. 44th Street, Suite 2, Des Moines, IA 50313 P: (515) 281-6410 F: (515) 281-6410 WWW.STUDIORED.COM	DIRECTORS: N. Ryan, B. Arch, S. Dip, Arch, M. Arch ARCHITECTS: S. Dip, Arch, M. Arch, S. Dip, Arch, M. Arch SCALE: 1/8" = 1'-0"
REV: 1 DATE: 12/17/2014	REV: 1 DATE: 12/17/2014
PROJECT: DWELLING AT ARDUSTOWN, SUMNER HILL, CO. IOWA	PROJECT: DWELLING AT ARDUSTOWN, SUMNER HILL, CO. IOWA
DRAWING: PROPOSED PLANS/SECTIONS/ELEVATIONS	DRAWING: PROPOSED PLANS/SECTIONS/ELEVATIONS
CONCEIVED BY: STUDIO RED ARCHITECTS	CONCEIVED BY: STUDIO RED ARCHITECTS
DRAWN BY: STUDIO RED ARCHITECTS	DRAWN BY: STUDIO RED ARCHITECTS
CHECKED BY: STUDIO RED ARCHITECTS	CHECKED BY: STUDIO RED ARCHITECTS
DATE: 12/17/2014	DATE: 12/17/2014
SCALE: 1/8" = 1'-0"	SCALE: 1/8" = 1'-0"





01 SK 00 302 FRONT ELEVATION SKETCH 1:200



02 SK 00 302 GABLE ELEVATION SKETCH 1:200

03 SK 00 302 GABLE ELEVATION SKETCH 1:200



04 SK 00 302 SECTION A-A SKETCH 1:200

TA-552461

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REV	DATE	DESCRIPTION	DRAWING NO.	PROJECT	DRAWING	DATE	BY	CHECKED BY	SCALE
			2412 AND SK 00 302	DWELLING AT ARDOSTOWN, SUMMIT HILL, CO. NEATH	PROPOSED SECTION/ELEVATIONS	12/22/2024			1:200
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